



# PRE- COMPLETION INSPECTION CHECKLIST



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**v1**

EDITION

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# 01

## INTRODUCTION

This Pre-Completion survey is a non-invasive assessment of fixtures, fittings and services. Our surveyor carries out checks comparable with normal daily use to provide a simple checklist that has been determined by the NHQB (New Homes Quality Board).

Unlike a traditional snagging survey, we are unable to use specialist equipment to identify and capture issues. External checks will be an inspection from ground level and internally only basic tools such as a spirit level and socket tester are used. This is to abide by the instructions of the NHQB. Should you require a thorough snagging survey after moving in, you can book an inspection easily online or by calling our office.

# 02

## SCOPE OF SURVEY

The format of this pre-completion survey has been specifically designed by the NHQB (New Homes Quality Board). Split into internal and external requirements, its purpose is to provide the homeowner with a "finishing checklist" in haste of completion.

According to the requirements set out by the NHQB, this survey has been carried out by a suitably qualified inspector that is a member of a recognised professional association. As a company, HomeSnag is a well-established nationwide snagging company that holds adequate professional indemnity insurance. All our surveyors only work with their competency. We are regulated by RICS, and are members of the RPSA and Property Ombudsman.

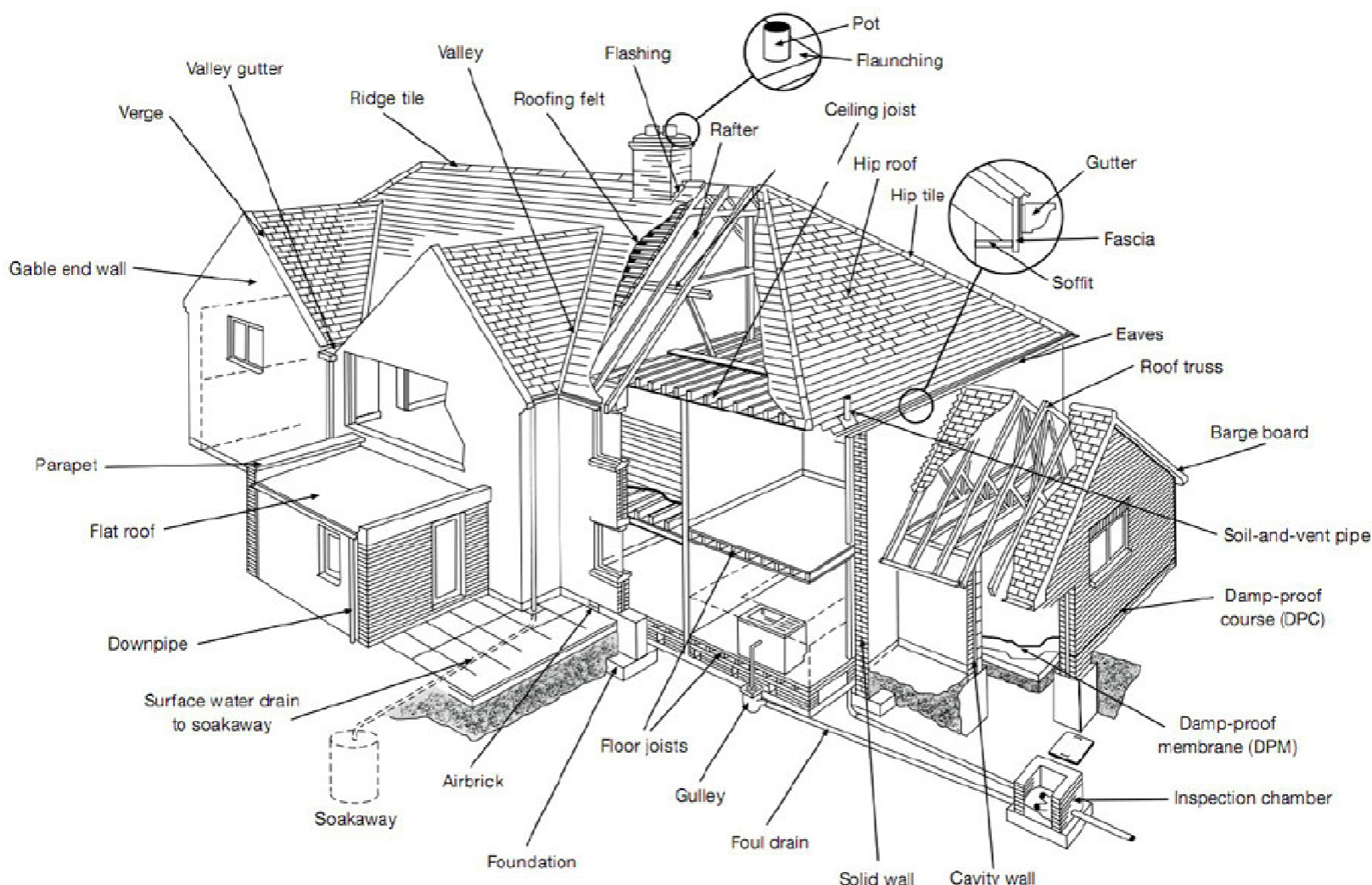
This survey is not a structural building survey and we are not to be held liable for any issues that may occur after our inspection and/or outside the scope of the guidance laid out by the NHQB.

As part of this survey, we will endeavour to inspect all accessible parts of the property but we do not move furniture, tradesmans tools, floor coverings etc.

We are raising issues on behalf of the homeowner or client that is paying for our service but will remain impartial when raising issues that we feel are justified in the aim of maintaining our company's integrity.

As new-build houses undergo the settlement process over the first few years, issues will likely occur such as shrinkage cracks (inside and externally), nail pops, creaking of floorboards and misalignment of doors. Such issues are common and if they occur after our visit they will need to be raised with the developer directly.

We also recommend inspecting your property in varying environmental conditions such as heavy rainfall or alternative lighting to check for issues that may otherwise not be evident on the day the report was carried out.



"Architrave" - (also known as "arc") is the decorative finish around doorframes

"Aco" - a channel drain typically found in driveways

"Banding" - Typically in reference to brickwork or roof coverings, different batches will provide slightly different appearance and so should be mixed to avoid obvious patches that clash

"Brickslot" - A type of channel drain typically found in front of doorways

"Efflorescence" - A white appearance on brickwork. It occurs when moisture pulls the salt out of the building material. It is essential for bricks to be covered and left in pallets to minimise this being an eye sore across the whole of the building.

"Plastic Surgeon" - A specialist trade also known as Magic Man. They are able to repair damaged units unless high-gloss, metal or glass.

"Plumb" - whether something is a vertical upright. Being "out of plumb" means that it deviates from this.

"Stringer" - (also called 'string' or 'stringer board') is the housing on either side of a flight of stairs, into which the treads and risers are fixed. A staircase will have two stringers, one on either side of the steps.



The NHQB v1 Pre Completion Inspection Checklist specifies that we (as suitably qualified inspectors) must not deviate from the checks specified in their guidance. Some terminologies used in this report have therefore been restricted to specific wording and choices of issues are restricted.

Generally speaking, the NHQB guidance requires aspects of the property to perform as intended and for the workmanship to be neat and tidy and to a plumb/level appearance (by eye). When we are determining subjectively whether it is a snag or not, we rely on our experience (our "professional eye" as it were) and whether it can/should be improved.

The guidance of the NHQB otherwise specifies:

- External walls should be inspected in daylight from a distance of 10m
- Internal ceiling, wall paintwork finishes, mastic and sealing should be inspected in daylight from a distance of 2m and not shining a light on the surface.
- Cupboards, wardrobe, surfaces and fitted furniture (inc. kitchens and bathrooms) should be inspected in daylight from a distance of 0.5m
- Glazing should be inspected in daylight from a distance of 2m (or 3m if laminated or toughened glass) and not shining a light on the surface. Fine scratches less than 25mm and bubbles or blisters if not obtrusive or bunched are acceptable
- All checks on the property will be visual from the ground
- Loft spaces and eaves are only inspected where safely accessible\*

\*Our surveyors to carry out a head and shoulders inspection from the loft hatch on this basis.

We will typically only raise a couple of example pictures of reoccurring issues rather than photographing every single snag in order for this report to be concise and remain within the scope of this being a checklist. Likewise our inspector will prioritise the main issues being added, so minor snags may be discounted. Conversely, there may be technical issues (according to guidance set by the likes of the NHBC and Building Regulations etc) that our inspector finds but is unable to raise within the scope of this checklist.

Limitations are important to note as they may explain or override aspects checked. For example if the water was off at the time of the inspection, we will be only able to carry out a visual check on the taps only. We may have specified it Meets Standards, but this relating to the visual aspect only.

Works Ongoing likewise will explain why certain aspects may not Meet Standards beyond what is presented to the surveyor in this checklist.

Urgent Issues will only include those of 'common sense' such as if we see signs of moisture internally or a hazard such as an exposed wire. We are otherwise unable to raise important issues outside the scope of this report.

05

PROPERTY DETAILS



Example Property

05/07/23

The weather at the time of the survey was dry but overcast. We advise that the house is inspected during and after rainfall to check for rainwater goods, drainage etc. Also scratches in glass may be more obvious in sunny weather

06

SURVEYOR DETAILS



Alex is an assocRICS surveyor having completed the SAVA Level 6 Diploma in Residential Surveying. A member of the RPSA, he has a NVLQ level 3 Domestic Energy and a diploma in Applied Building Thermography

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<b>GROUNDS</b>	
<b>GARAGE</b>	
<b>ROOF</b>	
<b>BOUND. &amp; SERV</b>	
<b>ELEVATIONS</b>	
<b>WINDOWS &amp; DOORS</b>	
<b>HALLWAY</b>	
<b>WC</b>	
<b>LIVING ROOM</b>	
<b>DINING AREA</b>	
<b>KITCHEN</b>	Ideally there should be double check valve on pipe incase the appliance is change to one without one
<b>UTILITY</b>	No double check valve
<b>STAIRS LANDING</b>	Top nosing not level, trip hazard
<b>MASTER BED</b>	
<b>ENSUITE</b>	
<b>BED 2</b>	
<b>BED 3</b>	
<b>BATHROOM</b>	Shower head reaches toilet, backflow risk
<b>CUPBOARD</b>	
<b>LOFT</b>	
<b>HEATING</b>	

**HALLWAY**

Good: the plasterwork / paintwork was overall good, just a couple of areas to address. Meets Standards ✓

**WC**

Good: the plasterwork / paintwork was overall good, just a couple of areas to address. Meets Standards ✓

**LIVING ROOM**

Good: the plasterwork / paintwork was overall good, just a couple of areas to address. Meets Standards ✓

**DINING AREA**

Good: the plasterwork / paintwork was overall good, just a couple of areas to address. Meets Standards ✓

**KITCHEN**

Paintwork is either ongoing or a poor standard with numerous areas to address. Does not meet standards

**UTILITY**

Fair: The paintwork / plaster has several areas still to patch / touch up so does not meet standards.

**STAIRCASE LANDING**

Fair: The paintwork / plaster has several areas still to patch / touch up so does not meet standards.

**MASTER BED**

Good: the plasterwork / paintwork was overall good, just a couple of areas to address. Meets Standards ✓

**ENSUITE**

Fair: The paintwork / plaster has several areas still to patch / touch up so does not meet standards.

**BED 2**

Good: the plasterwork / paintwork was overall good, just a couple of areas to address. Meets Standards ✓

**BED 3**

Excellent: The plasterwork / paintwork was deemed to be exemplary. Meets standards ✓

**BED 4**

Good: the plasterwork / paintwork was overall good, just a couple of areas to address. Meets Standards ✓

**BATHROOM**

Fair: The paintwork / plaster has several areas still to patch / touch up so does not meet standards.

**CUPBOARD**

Good: the plasterwork / paintwork was overall good, just a couple of areas to address. Meets Standards ✓



# 09 CHECKS CARRIED OUT

Below are a few photos showing some of the checks carried out which include:

- checks on the sockets using a tester plug
- (starting) a cycle on appliances to check for connection
- running the bath / shower to check for leaks
- inspection chamber check to indicate any blockages
- loft inspection (head and shoulders check from loft hatch)
- Roof check (from ground level)



Please note that in some instances we'll be unable to carry out checks due to limitations or they don't apply so sections above may be blank.

# 10 VIDEO

This section provides links to any videos taken during the inspection. Videos may have been taken to help explain an issue such as a noise or an urgent matter

If the below boxes are blank then no videos were taken during the inspection



# GROUNDS

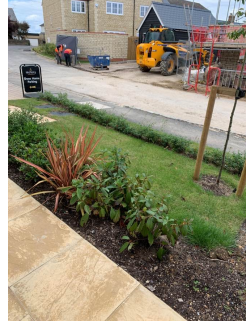
	MEETS STANDARDS	ACTION REQUIRED
<b>HEALTH &amp; SAFETY</b>		<ul style="list-style-type: none"> <li>• Pot holes presented a health and safety concern</li> <li>• Trip hazards were evident, presenting a health and safety concern</li> </ul> <p>Groundworkers to finish works in time for the homeowners occupation, ensuring there are no health and safety concerns of trip or falls from height.</p>
<b>SCAFFOLDING</b>	<p>Meets Standards ✓ There were no scaffolding around the immediate perimeter of property</p>	
<b>GROUNDWORKS</b> Roads, Footpaths, Driveways, kerbs and steps		<ul style="list-style-type: none"> <li>• There are uneven flags which present the possibility of rainwater pooling</li> </ul> <p>Groundworker to attend and rectify in time for occupation</p>
<b>LAWN</b>		<ul style="list-style-type: none"> <li>• The turf is missing. We are unaware of whether this is provided as part of the sale</li> <li>• See Works Ongoing / Limitations overleaf</li> </ul> <p>Site to ensure that healthy turf is provided in time for occupation (if provided as part of the sale). Please ensure there is 100mm of topsoil, laid at a suitable time of year and does not waterlog.</p>
<b>TIDY SITE</b>	<p>Meets Standards ✓ The general environment was reviewed and considered acceptable.</p>	
<b>DRAINS</b>	<p>Meets Standards ✓ The inspection chambers were checked and there were no signs of standing water / debris, fixings were in tact and the chambers were level to ground</p>	

# GROUNDS

## ONGOING WORKS



Fence not finished beside house



Ongoing works

## LIMITATIONS

Some inspection chambers not readily accessible, site to check all are clear

## URGENT ISSUES

## PHOTOS OF ISSUES THAT DO NOT MEET STANDARDS



Gap in turf



Cement pour around chamber cover



Front garden not finished



Poor appearance gravel could get in mower



Slabs not level

# GARAGE

	MEETS STANDARDS	ACTION REQUIRED
<b>GARAGE ROOF</b>	Meets Standards ✓ Seen from ground level (as best as can be inspected), the garage roof meets standards.	
<b>GARAGE FASCIAS &amp; SOFFITS</b>	Meets Standards ✓ The fascias / soffits / bargeboards were inspected and there were no issues identified	
<b>GARAGE GUTTERS &amp; DOWNPIPES</b>	Meets Standards ✓ Seen from ground level (as best as can be inspected), the garage gutters and downpipes meets standards. We recommend inspecting after heavy rainfall.	
<b>GARAGE WALLS</b>		<ul style="list-style-type: none"> <li>• The brickwork needs repointing</li> <li>• See Works Ongoing / Limitations overleaf</li> </ul> <p>Brickworker to repair / repoint the damage or section of wall as shown in the photos overleaf</p>
<b>GARAGE DOOR</b>		<ul style="list-style-type: none"> <li>• Door damage / scratched</li> </ul> <p>Joiner or Garage door company to rectify ideally before customer completes</p>
<b>GARAGE FLOOR</b>		<ul style="list-style-type: none"> <li>• Screed is uneven</li> </ul> <p>Groundworker to attend and remedy screed so that it is evenly laid, flat but with a gradient toward the front so that any rainwater or flammable liquids exit.</p>
<b>GARAGE WINDOWS</b>	The garage does not have any windows	



# GARAGE

GARAGE SERVICES	MEETS STANDARDS	ACTION REQUIRED
	<p>Meet Standards ✓            The garage services were checked (visual check other than a basic test to sockets and switch operation) and were neat and in good working order</p>	

## ONGOING WORKS

## LIMITATIONS

## URGENT ISSUES

## PHOTOS OF ISSUES THAT DO NOT MEET STANDARDS



Mortar cracked



Pests could enter gap above door, cover



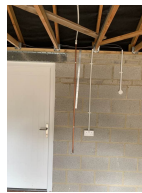
Membrane protrudes from brickwork



Mortar gaps around rafter tails



Floor not smooth



Wall plate strap wonky



Mould on party wall



Firestop above wall loose, shouldn't be gaps



Personnel door dented

# ROOF

	MEETS STANDARDS	ACTION REQUIRED
MAIN ROOF		<ul style="list-style-type: none"> <li>The Canopy is damaged</li> </ul> <p>Roofers to replace section of roof that is damaged / not uniform etc</p>
SOFFITS, FASCIAS ETC	Meets Standards ✓ The fascias / soffits / bargeboards have been checked and no issues were found	
GUTTERS & DOWNPIPES	Meets Standards ✓ Seen from ground level (as best as can be inspected), the garage gutters and downpipes meets standards. We recommend inspecting after heavy rainfall.	
CHIMNEY	N/A - no chimney	

## PV PANELS

## URGENT ISSUES

There are no PV panels present

please note: this is a non technical check, we are just confirming presence

# ROOF

## ONGOING WORKS

## LIMITATIONS

### PHOTOS OF ISSUES THAT DO NOT MEET STANDARDS



Coping chipped, sand coat



Splitting around canopy



Paint damaged on canopy



Spacer protrudes behind bracket

# BOUNDARY & SERVICES

	MEETS STANDARDS	ACTION REQUIRED
<b>WALLS &amp; FENCING</b>		<ul style="list-style-type: none"> <li>• See Works Ongoing / Limitations overleaf</li> <li>• Gate fouls when operating</li> </ul> <p>Fencing / brickworkwork / groundworkers to remediate so that the boundaries are complete in time for occupation</p>
<b>OUTDOOR BUILDINGS</b>	N/A - there were no outdoor buildings (e.g. shed) at the time of inspection	
<b>EXTRACTOR VENT</b>	Meets Standards ✓ No issues were noted with the extractor fan vent	
<b>FLUE VENT</b>	Meets Standards ✓ No issues were noted with the flue vent	
<b>METER BOXES</b>		<ul style="list-style-type: none"> <li>• The pipe / cables are not sealed</li> <li>• Clip to the hockey stick is missing</li> </ul> <p>Site to instruct relevant trade to complete finish of the meter box ensuring it is securely fixed level, with sealed pipes and cables.</p>

## CAR CHARGING POINT

There is no car charger

## AIR SOURCE HEAT PUMPS

There is no Air Source Heat Pump System present

**please note: these are non technical checks, we are just confirming presence**



# BOUNDARY & SERVICES

## ONGOING WORKS

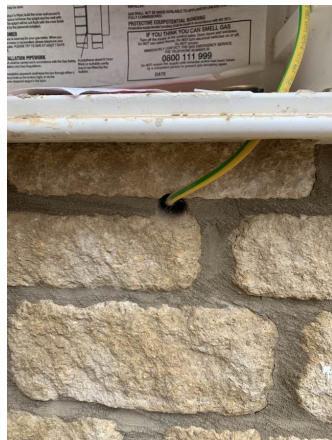
## LIMITATIONS

## URGENT ISSUES

## PHOTOS OF ISSUES THAT DO NOT MEET STANDARDS



Intumescent putty missing from gas pipe



Sealant missing around ground wire



Some bulbs missing



Gas pipe clip missing



Light off plumb

# ELEVATIONS

	MEETS STANDARDS	ACTION REQUIRED
<b>BRICKWORK / RENDER / CLADDING / TILING</b>	Meets Standards ✓ The elevations have been checked and they meet standards (plumb, straight and consistent in finish)	
<b>DPC</b>	Meets Standards ✓ The height of the DPC was considered fine, as much as it is possible to determine without intrusive check.	
<b>EXPANSION JOINTS</b>	Meets Standards ✓ The expansion joints (if present) were acceptably installed. Note: we are unable to determine the correct location or number of joints required.	
<b>WEEP VENTS</b>		<ul style="list-style-type: none"> <li>• Weep vents damaged</li> </ul> <p>Brickworker to ensure there are sufficient weep vents that are undamaged and clean.</p>
<b>AIR BRICKS</b>		<ul style="list-style-type: none"> <li>• The air brick is too low. It should have at least one brick (75mm) clearance to ensure air flow and avoid rainwater ingress</li> </ul> <p>Brickworker to ensure air bricks are clear from ground level, clean and undamaged.</p>
<b>FLASHINGS</b>		<ul style="list-style-type: none"> <li>• The flashing does not appear properly connected</li> </ul> <p>Mastic and/or brickworker to tidy appearance of flashing ensuring it is properly sealed, in line to cavity trays</p>

# ELEVATIONS

## ONGOING WORKS

## LIMITATIONS

## URGENT ISSUES

## PHOTOS OF ISSUES THAT DO NOT MEET STANDARDS



Weep vent damaged front corner



Mortar messy left of garage



Hole on rear of garage



Flashing not flush



Repoint around lintels



Cast stone damaged around fenestration



Sealant missing around pipe



Sticker on sill above front door



Air brick below ground level

# WINDOWS & DOORS

	MEETS STANDARDS	ACTION REQUIRED
EXTERNAL DOORS		<ul style="list-style-type: none"> <li>• Door furniture damage</li> <li>• The door is damaged / scratched</li> </ul> <p>Joiner to adjust or repair the door accordingly, ensuring it does not foul and has a consistent finish.</p>
WINDOWS		<ul style="list-style-type: none"> <li>• See Works Ongoing / Limitations overleaf</li> </ul> <p>Plastic surgeon to repair or glazing company to adjust / replace if required.</p>
ONGOING WORKS		LIMITATIONS
		URGENT ISSUES



# WINDOWS & DOORS

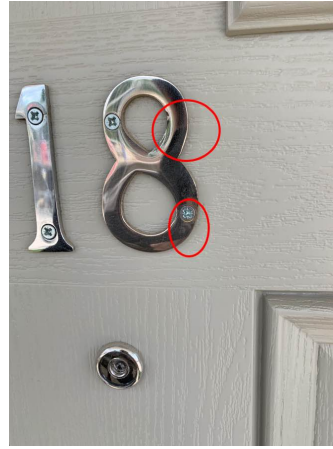
## PHOTOS OF ISSUES THAT DO NOT MEET STANDARDS



Patio hinge scuffed



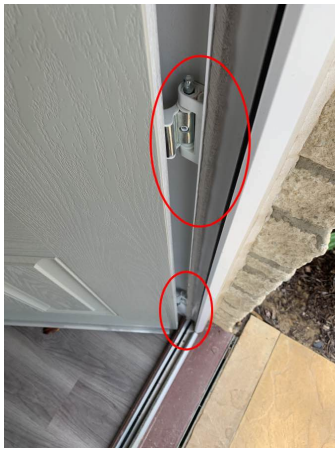
Stubborn stains on sills



Scuffs on number



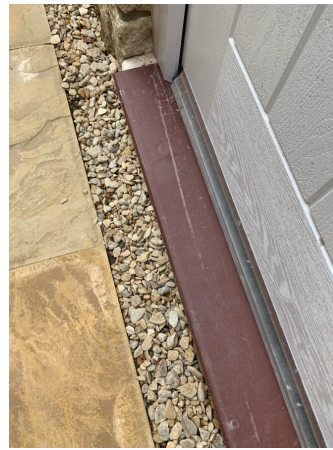
Front door scratched



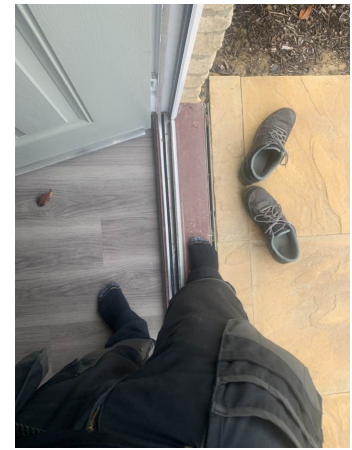
Caps missing from front door hinges



Weather bar end caps missing



Back door sill scratched



Front door sill deflects



Front door threshold not level

# HALLWAY

	MEETS STANDARDS	ACTION REQUIRED
<b>DOOR</b>	Meets Standards ✓ The door currently operates and does not appear to have any damage	
<b>FLOOR</b>		<ul style="list-style-type: none"> <li>• Flooring is damaged</li> </ul> <p>Flooring contractor to address flooring levels and squareness to walls is not obvious and ensure any damage is replaced or repaired.</p>
<b>SKIRTING</b>	Meets Standards ✓ The Skirting has been checked and appears an undamaged continual surface	
<b>WALLS &amp; CEILINGS</b>	Meets Standards ✓ The walls and ceilings have been checked and are acceptably flat / plumb.	
<b>WINDOWS</b>		
<b>LIGHTS, SOCKETS &amp; SWITCHES</b>	Meets Standards ✓ The sockets, switches and lights appear level and in working order.	
<b>RADIATORS / UNDERFLOOR</b>	Meets Standards ✓ The radiators appeared to all be working, undamaged and level.	

# HALLWAY

## ONGOING WORKS

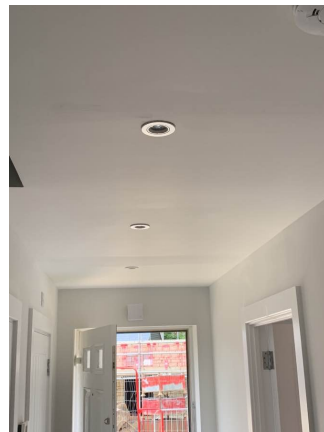
## LIMITATIONS

## URGENT ISSUES

## PHOTOS OF ISSUES THAT DO NOT MEET STANDARDS



Paint flashing on wall, repaint



Paint flashing on ceiling



Make good around switches/sockets



Wrong paint used for touch ups



Touch up doors throughout house



Floor scratched nr front door

# DOWNSTAIRS WC

	MEETS STANDARDS	ACTION REQUIRED
<b>DOOR</b>		<ul style="list-style-type: none"> <li>• See Works Ongoing / Limitations overleaf</li> </ul> <p>Joiner to adjust / plastic surgeon to repair as required</p>
<b>FLOOR</b>	<p>Meets Standards ✓ The flooring has been checked and it appears acceptably level when walked over &amp; by eye</p>	
<b>SKIRTING</b>	<p>Meets Standards ✓ The Skirting has been checked and appears an undamaged continual surface</p>	
<b>WALLS &amp; CEILINGS</b>		<ul style="list-style-type: none"> <li>• Wall is not straight</li> </ul> <p>Plasterer to attend and skim to take the eye off. Otherwise Site Manager to instruct trades to rectify.</p>
<b>RADIATORS / UNDERFLOOR</b>		<ul style="list-style-type: none"> <li>• The radiator isn't level</li> </ul> <p>Plumber to attend and appropriately repair</p>
<b>WINDOWS</b>	<p>Meets Standards ✓ The Windows have been checked and they operate as intended and are not damaged</p>	
<b>SINK &amp; PEDESTAL / VANITY</b>		<ul style="list-style-type: none"> <li>• The sink is not level</li> <li>• Vanity not level</li> <li>• vanity unequal gap</li> </ul> <p>Plumber to attend to rectify / replace if required</p>

# DOWNSTAIRS WC

	MEETS STANDARDS	ACTION REQUIRED
TOILET		<ul style="list-style-type: none"> <li>Toilet not secure</li> </ul> <p>Plumber to attend and rectify (replacing if necessary)</p>
SEALANT AROUND WET AREAS	Meets Standards ✓ Sealant around the wet areas was found to be full and neat.	
LIGHTS & EXTRACTION	Meets Standards ✓ The extractor fan and light appear in working order.	
SOCKETS & SWITCHES	Meets Standards ✓ Sockets and switches in the bathroom (if any) appeared in good order.	



# DOWNSTAIRS WC

## ONGOING WORKS

## LIMITATIONS

## URGENT ISSUES

## PHOTOS OF ISSUES THAT DO NOT MEET STANDARDS



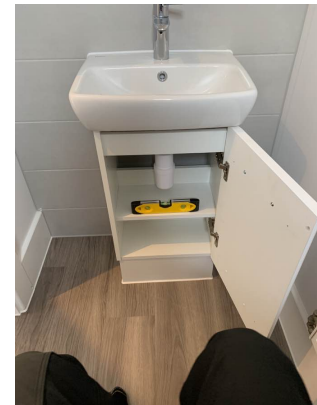
Wall not flat



Make good around sill tile trim



Paint blemish examples



Vanity unit distorted



>10mm gap below door

# LIVING ROOM

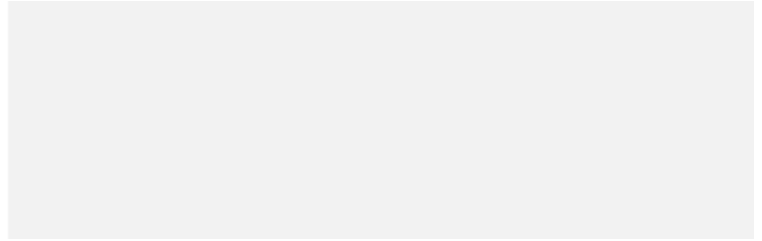
	MEETS STANDARDS	ACTION REQUIRED
<b>DOOR</b>		<ul style="list-style-type: none"> <li>• See Works Ongoing / Limitations overleaf</li> </ul> <p>Joiner to adjust / plastic surgeon to repair as required</p>
<b>FLOOR</b>	<p>Meets Standards ✓ The flooring has been checked and it appears acceptably level when walked over &amp; by eye</p>	
<b>SKIRTING</b>	<p>Meets Standards ✓ The Skirting has been checked and appears an undamaged continual surface</p>	
<b>WALLS &amp; CEILINGS</b>		<ul style="list-style-type: none"> <li>• The Ceiling isn't flat (noticeably by eye)</li> </ul> <p>Plasterer to skim the area to take the eye off. Otherwise Site Manager to instruct works to rectify</p>
<b>WINDOWS</b>	<p>Meets Standards ✓ The Windows have been checked and they operate as intended and are not damaged</p>	
<b>LIGHTS, SOCKETS &amp; SWITCHES</b>		<ul style="list-style-type: none"> <li>• The switches are not level and is obvious by eye</li> </ul> <p>Electrician to adjust and replace as required.</p>
<b>RADIATORS / UNDERFLOOR</b>		<ul style="list-style-type: none"> <li>• The radiator isn't level</li> </ul> <p>Plumber to attend and appropriately repair</p>

# LIVING ROOM

## PHOTO OF ROOM (IF NOT OBVIOUS)

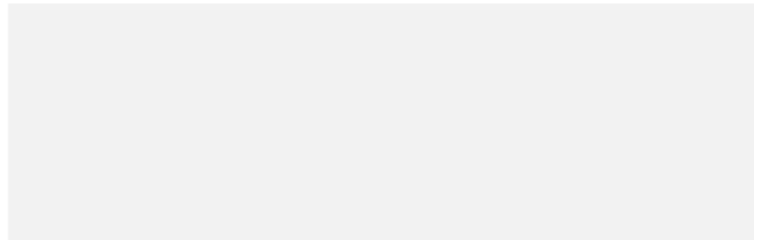


## LIMITATIONS



## ONGOING WORKS

## URGENT ISSUES



## PHOTOS OF ISSUES THAT DO NOT MEET STANDARDS



Latch doesn't retreat against the strike plate



Switch not level



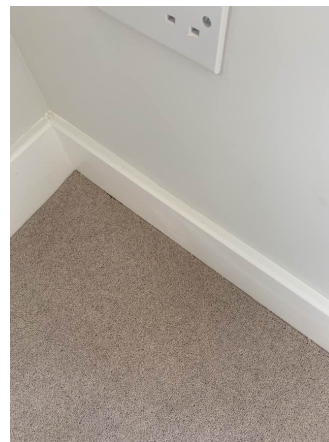
Board join crack on ceiling



Ceiling not flat above door



Ceiling not flat at inverted corner



Wrong paint used of skirting touch ups

# DINING AREA / ROOM

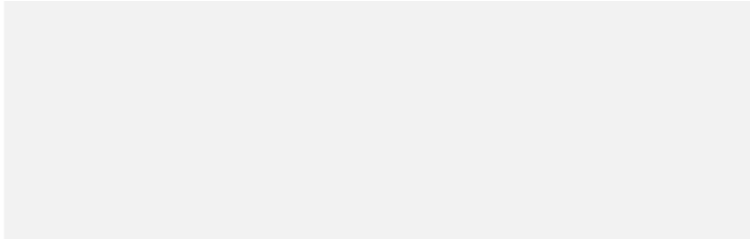
	MEETS STANDARDS	ACTION REQUIRED
<b>DOOR</b>		
<b>FLOOR</b>	Meets Standards ✓ The flooring has been checked and it appears acceptably level when walked over & by eye	
<b>SKIRTING</b>	Meets Standards ✓ The Skirting has been checked and appears an undamaged continual surface	
<b>WALLS &amp; CEILINGS</b>	Meets Standards ✓ The walls and ceilings have been checked and are acceptably flat / plumb.	
<b>WINDOWS</b>		
<b>LIGHTS, SOCKETS &amp; SWITCHES</b>	Meets Standards ✓ The sockets, switches and lights appear level and in working order.	
<b>RADIATORS / UNDERFLOOR</b>	Meets Standards ✓ The radiators appeared to all be working, undamaged and level.	

# DINING AREA / ROOM

**PHOTO OF ROOM (IF NOT OBVIOUS)**

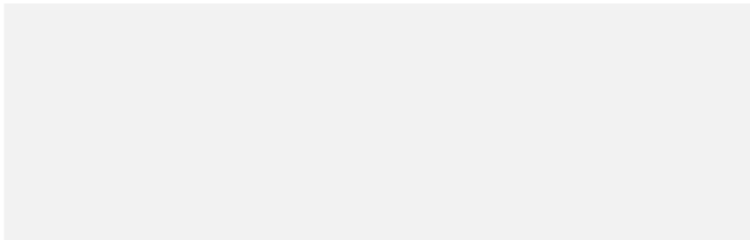


**LIMITATIONS**



**ONGOING WORKS**

**URGENT ISSUES**



**PHOTOS OF ISSUES THAT DO NOT MEET STANDARDS**



Make good around down lights



Paint flash on ceiling



# KITCHEN

	MEETS STANDARDS	ACTION REQUIRED
<b>DOOR</b>		<ul style="list-style-type: none"> <li>• See Works Ongoing / Limitations overleaf</li> </ul> <p>Joiner to adjust / plastic surgeon to repair as required</p>
<b>FLOOR</b>	<p>Meets Standards ✓ The flooring has been checked and it appears acceptably level when walked over &amp; by eye</p>	
<b>SKIRTING &amp; PLINTHS</b>	<p>Meets Standards ✓ The Skirting and plinths have been checked and appear undamaged and fitted properly</p>	
<b>WALLS &amp; CEILINGS</b>	<p>Meets Standards ✓ The walls have been checked and are acceptably flat and plumb.</p>	
<b>WINDOWS</b>	<p>Meets Standards ✓ The Windows have been checked and they operate as intended and are not damaged</p>	
<b>LIGHTS, SOCKETS &amp; SWITCHES</b>	<p>Meets Standards ✓ The extractor fan and light appear in working order.</p>	
<b>RADIATORS / UNDERFLOOR</b>		

# KITCHEN

	MEETS STANDARDS	ACTION REQUIRED
<b>UNIT DOORS &amp; DRAWERS</b>		<ul style="list-style-type: none"> <li>• See Works Ongoing / Limitations overleaf</li> <li>• Drawer is not aligned level / with uniform gap</li> </ul> <p>Kitchen fitter to adjust / replace as required</p>
<b>APPLIANCES</b>	Meets Standards ✓ Appliances appear damage free. Note: we are unable to determine whether a system fault.	
<b>SINK &amp; TAP</b>		<ul style="list-style-type: none"> <li>• The sink is scratched / damaged noticeably</li> </ul> <p>Plumber to fix / replace parts if required.</p>
<b>WORKTOP &amp; HOB</b>	Meets Standards ✓ The hob and worktop appear in good order as seen from 0.5m	
<b>SEALANT</b>	Meets Standards ✓ Sealant around the wet areas was found to be full and neat.	

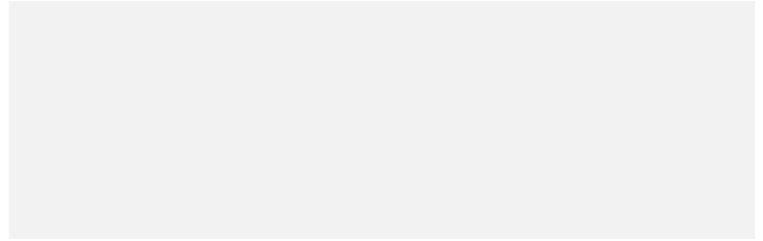
## URGENT ISSUES

Ideally there should be double check valve on pipe incase the appliance is change to one without one

# KITCHEN

## ONGOING WORKS

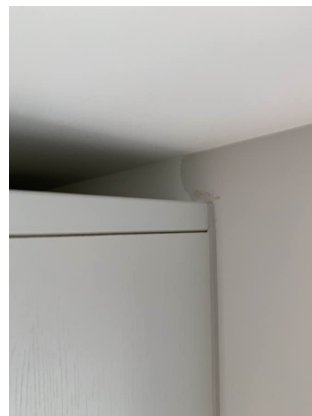
## LIMITATIONS



## PHOTOS OF ISSUES THAT DO NOT MEET STANDARDS



Paint missing above cupboards



Paint blemish example



Clean off paint



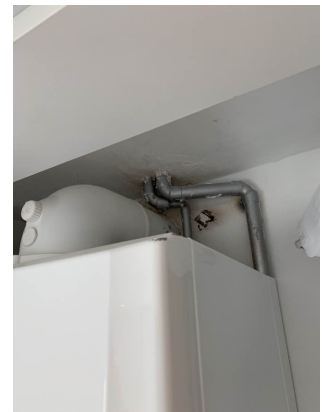
Clean off paint



Make good below sill tile trim



Make good above boiler



Handle stiff



>10mm gap below door



Scratches on draining board

# UTILITY

	MEETS STANDARDS	ACTION REQUIRED
<b>DOOR</b>		<ul style="list-style-type: none"> <li>The door is damaged</li> </ul> <p>Joiner to adjust / plastic surgeon to repair as required</p>
<b>FLOOR</b>	Meets Standards ✓ The flooring has been checked and it appears acceptably level when walked over & by eye	
<b>SKIRTING</b>	Meets Standards ✓ The Skirting and plinths have been checked and appear undamaged and fitted properly	
<b>WALLS &amp; CEILINGS</b>	Meets Standards ✓ The walls have been checked and are acceptably flat and plumb.	
<b>WINDOWS</b>		
<b>LIGHTS, SOCKETS &amp; SWITCHES</b>	Meets Standards ✓ The extractor fan and light appear in working order.	
<b>RADIATORS / UNDERFLOOR</b>	Meets Standards ✓ The radiators appeared to all be working, undamaged and level.	

# UTILITY

	MEETS STANDARDS	ACTION REQUIRED
<b>UNIT DOORS &amp; DRAWERS</b>	Meets Standards ✓ The drawers and cupboards have been checked and they operate as intended and are free from damage	
<b>APPLIANCES</b>	Meets Standards ✓ Appliances appear damage free. Note: we are unable to determine whether a system fault.	
<b>SINK &amp; TAP</b>		<ul style="list-style-type: none"> <li>• See Works Ongoing / Limitations overleaf</li> </ul> <p>Plumber to fix / replace parts if required.</p>
<b>WORKTOP</b>	Meets Standards ✓ The Worktop appears in good order as seen from 0.5m	
<b>SEALANT</b>	Meets Standards ✓ Sealant around the wet areas was found to be full and neat.	

## URGENT ISSUES

No double check valve



# UTILITY

## ONGOING WORKS

## LIMITATIONS

### PHOTOS OF ISSUES THAT DO NOT MEET STANDARDS



No double check valve



Damage on back door



Make good around down lights



Plaster dint

# STAIRS & LANDING

	MEETS STANDARDS	ACTION REQUIRED
<b>NEWEL POSTS, HANDRAILS &amp; SPINDLES</b>		<ul style="list-style-type: none"> <li>• See Works Ongoing / Limitations overleaf</li> </ul> <p>Joiner to repair or replace as required</p>
<b>FLOOR INC. TREADS &amp; RISERS</b>		<ul style="list-style-type: none"> <li>• See Works Ongoing / Limitations overleaf</li> </ul> <p>Joiner / carpet fitter to adjust as required</p>
<b>STRING &amp; SKIRTING</b>	<p>Meets Standards ✓ The String &amp; skirting has been checked and appears an undamaged continual surface. Note: settlement cracks will occur along here.</p>	
<b>WALLS &amp; CEILINGS</b>	<p>Meets Standards ✓ The walls and ceilings have been checked and are acceptably flat / plumb.</p>	
<b>WINDOWS</b>	<p>Meets Standards ✓ The Windows have been checked and they operate as intended and are not damaged</p>	
<b>LIGHTS, SOCKETS &amp; SWITCHES</b>		<ul style="list-style-type: none"> <li>• The light fitting is not flush</li> </ul> <p>Electrician to adjust and replace as required.</p>
<b>RADIATORS</b>		<ul style="list-style-type: none"> <li>• See Works Ongoing / Limitations overleaf</li> </ul> <p>Plumber to attend and appropriately repair</p>

# STAIRS & LANDING

## ONGOING WORKS

## LIMITATIONS

## URGENT ISSUES

Top nosing not level, trip hazard

## PHOTOS OF ISSUES THAT DO NOT MEET STANDARDS



Radiator off bracket



Dent on newel post



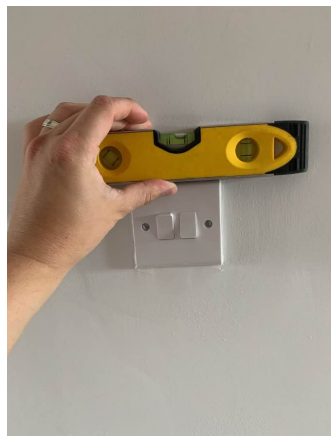
Make good fixing holes on caps



Make good handrail newel post joins



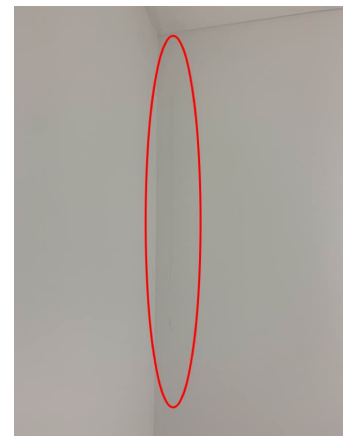
Nosing not level



Switch is visibly not level



Light not flush



blemish on wall above corner of stairs

# MASTER BEDROOM

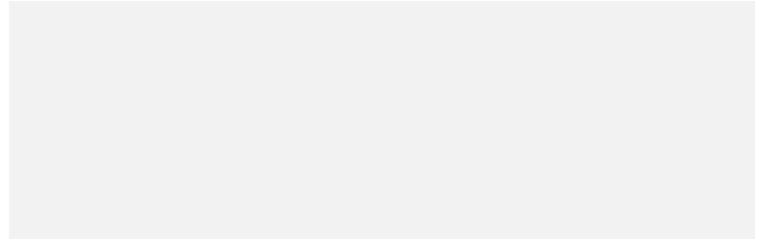
	MEETS STANDARDS	ACTION REQUIRED
<b>DOOR</b>	Meets Standards ✓ The door currently operates and does not appear to have any damage	
<b>FLOOR</b>		<ul style="list-style-type: none"> <li>Flooring is not reasonably level/flat (tangible underfoot or obvious by eye)</li> </ul> <p>Flooring contractor to address flooring levels and squareness to walls is not obvious and ensure any damage is replaced or repaired</p>
<b>SKIRTING</b>	Meets Standards ✓ The Skirting has been checked and appears an undamaged continual surface	
<b>WALLS (INC. ANY WARDROBES) &amp; CEILINGS</b>		<ul style="list-style-type: none"> <li>There is damage to the wardrobe as seen from 0.5m</li> </ul> <p>Joiner / plasterer to rectify. Otherwise Site Manager to instruct necessary works to rectify</p>
<b>WINDOWS</b>		<ul style="list-style-type: none"> <li>See Works Ongoing / Limitations overleaf</li> </ul> <p>Plastic Surgeon to repair or glazing company to replace as appropriate.</p>
<b>LIGHTS, SOCKETS &amp; SWITCHES</b>	Meets Standards ✓ The sockets, switches and lights appear level and in working order.	
<b>RADIATORS / UNDERFLOOR</b>		<ul style="list-style-type: none"> <li>See Works Ongoing / Limitations overleaf</li> </ul> <p>Plumber to attend and appropriately repair</p>

# MASTER BEDROOM

## PHOTO OF ROOM IF NOT OBVIOUS

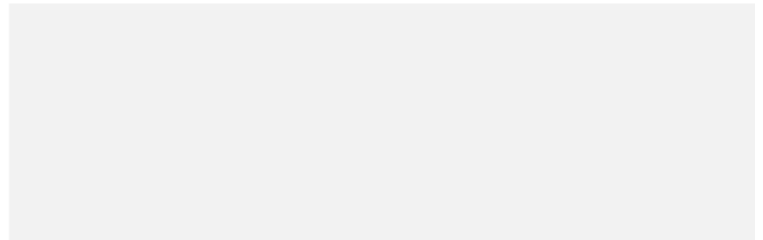


## LIMITATIONS

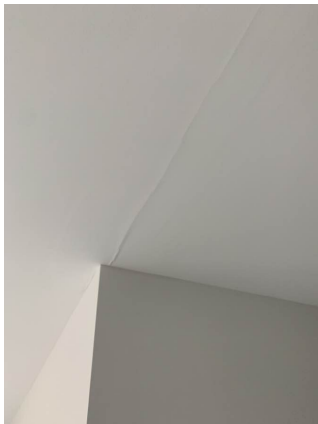


## ONGOING WORKS

## URGENT ISSUES



## PHOTOS OF ISSUES THAT DO NOT MEET STANDARDS



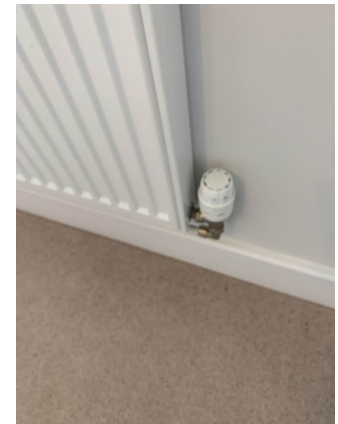
Crack on ceiling



Blemish on wardrobe door



Screws missing from wardrobe door runner



Shouldn't be TRV on radiator



Pips missing from handles



Floor not level btwn door & middle of room



# MASTER ENSUITE

	MEETS STANDARDS	ACTION REQUIRED
<b>DOOR</b>	Meets Standards ✓ The door currently operates and does not appear to have any damage	
<b>FLOOR</b>	Meets Standards ✓ The flooring has been checked and it appears acceptably level when walked over & by eye	
<b>SKIRTING</b>	Meets Standards ✓ The Skirting has been checked and appears an undamaged continual surface	
<b>WALLS &amp; CEILINGS</b>		<ul style="list-style-type: none"> <li>• See Works Ongoing / Limitations overleaf</li> </ul> <p>Plasterer to attend and skim to take the eye off. Otherwise Site Manager to instruct trades to rectify.</p>
<b>WINDOWS</b>		
<b>LIGHTS, SOCKETS &amp; EXTRACTION</b>		<ul style="list-style-type: none"> <li>• The fitting is not flush</li> </ul> <p>Electrician to adjust / replace as required.</p>
<b>RADIATORS / UNDERFLOOR</b>	Meets Standards ✓ The radiators appeared to all be working, undamaged and level.	

# MASTER ENSUITE

	MEETS STANDARDS	ACTION REQUIRED
<b>SINK &amp; TAPS</b>	Meets Standards ✓ The sink, taps and pedestal have been checked and they are level / square and work as intended	
<b>PEDESTAL &amp; VANITY</b>		<ul style="list-style-type: none"> <li>• Unequal gaps or unlevel installation of the vanity</li> </ul> <p>Plumber to attend to rectify / replace if required</p>
<b>TOILET</b>		<ul style="list-style-type: none"> <li>• Toilet missing fixings</li> </ul> <p>Plumber to attend and rectify (replacing if necessary)</p>
<b>SEALANT AROUND WET AREAS</b>		<p>The sealant is not neat / section missing around wet area</p> <p>Mastic trade / plumber to renew so the sealant is continual and neat.</p>
<b>SHOWER / BATH</b>	Meets Standards ✓ The shower / bath has been inspected including plumbing overflow (as best as can be inspected) and revealed no issues	
<b>URGENT ISSUES</b>		

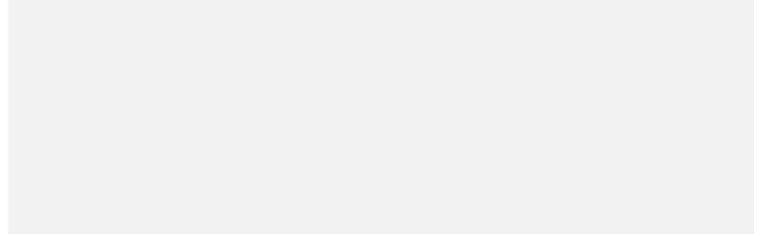
# MASTER ENSUITE

## ONGOING WORKS



Configure extractors throughout house

## LIMITATIONS



## PHOTOS OF ISSUES THAT DO NOT MEET STANDARDS



Caulk gap



Make good btwn tile trim and wall



Clip cable to wall



Uneven gap



Cap missing side of toilet



Tiling not straight corner of shower



Poor tile alignment 2mm deviation



Sealant missing below shower frame

# BEDROOM 2

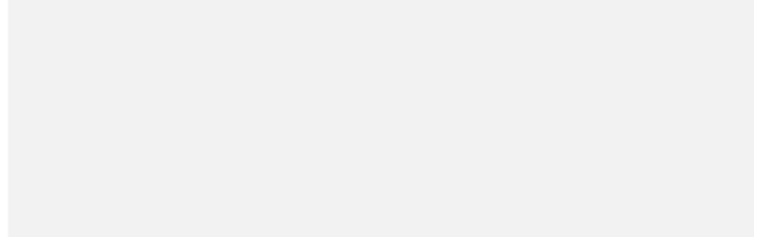
	MEETS STANDARDS	ACTION REQUIRED
<b>DOOR</b>		<ul style="list-style-type: none"> <li>The door frame is distorted / has unequal gap</li> </ul> <p>Joiner to adjust / plastic surgeon to repair as required</p>
<b>FLOOR</b>		<ul style="list-style-type: none"> <li>There is excessive creaking</li> </ul> <p>Flooring contractor to address flooring levels and squareness to walls is not obvious and ensure any damage is replaced or repaired.</p>
<b>SKIRTING</b>	Meets Standards ✓ The Skirting has been checked and appears an undamaged continual surface	
<b>WALLS, CEILINGS &amp; ANY WARDROBES</b>	Meets Standards ✓ The walls and ceilings (plus any inbuilt wardrobes if present) have been checked and are acceptable.	
<b>WINDOWS</b>		<ul style="list-style-type: none"> <li>See Works Ongoing / Limitations overleaf</li> </ul> <p>Plastic Surgeon to repair or glazing company to replace as appropriate.</p>
<b>LIGHTS, SOCKETS &amp; SWITCHES</b>	Meets Standards ✓ The sockets, switches and lights appear level and in working order.	
<b>RADIATORS / UNDERFLOOR</b>		<ul style="list-style-type: none"> <li>The radiator isn't level</li> </ul> <p>Plumber to attend and appropriately repair</p>

# BEDROOM 2

## PHOTO OF ROOM IF NOT OBVIOUS

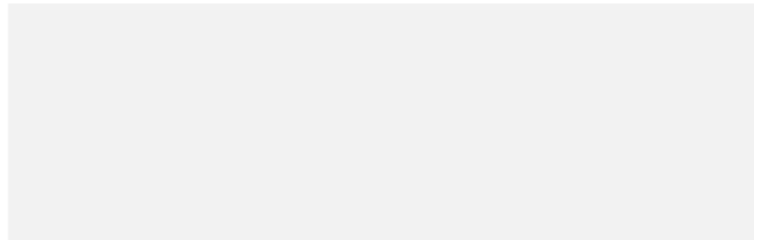


## LIMITATIONS



## ONGOING WORKS

## URGENT ISSUES



## PHOTOS OF ISSUES THAT DO NOT MEET STANDARDS



Seal loose on window



>5mm door gap



Paint blemish examples

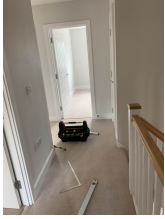
# BEDROOM 3

	MEETS STANDARDS	ACTION REQUIRED
<b>DOOR</b>	Meets Standards ✓ The door currently operates and does not appear to have any damage	
<b>FLOOR</b>	Meets Standards ✓ The flooring has been checked and it appears acceptably level when walked over & by eye	
<b>SKIRTING</b>	Meets Standards ✓ The Skirting has been checked and appears an undamaged continual surface	
<b>WALLS, CEILINGS &amp; ANY WARDROBES</b>	Meets Standards ✓ The walls and ceilings (plus any inbuilt wardrobes if present) have been checked and are acceptable.	
<b>WINDOWS</b>		<ul style="list-style-type: none"> <li>• See Works Ongoing / Limitations overleaf</li> </ul> <p>Plastic Surgeon to repair or glazing company to replace as appropriate.</p>
<b>LIGHTS, SOCKETS &amp; SWITCHES</b>		<ul style="list-style-type: none"> <li>• See Works Ongoing / Limitations overleaf</li> </ul> <p>Electrician to adjust and replace as required.</p>
<b>RADIATORS / UNDERFLOOR</b>	Meets Standards ✓ The radiators appeared to all be working, undamaged and level.	

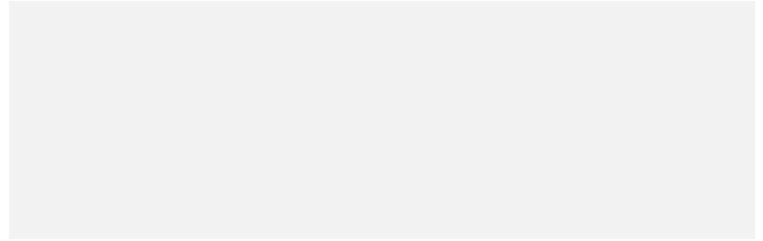


# BEDROOM 3

PHOTO OF ROOM IF NOT OBVIOUS

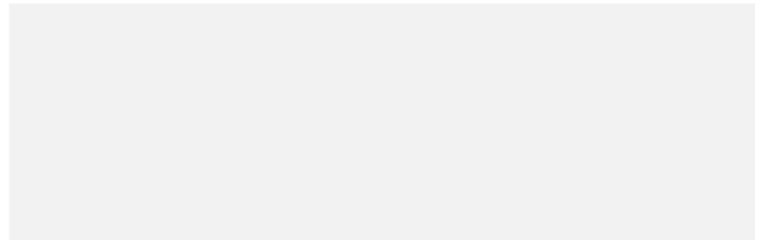


LIMITATIONS



ONGOING WORKS

URGENT ISSUES



PHOTOS OF ISSUES THAT DO NOT MEET STANDARDS



Seal loose



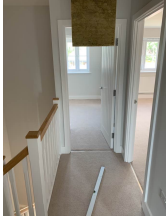
Outlet loose

# BEDROOM 4

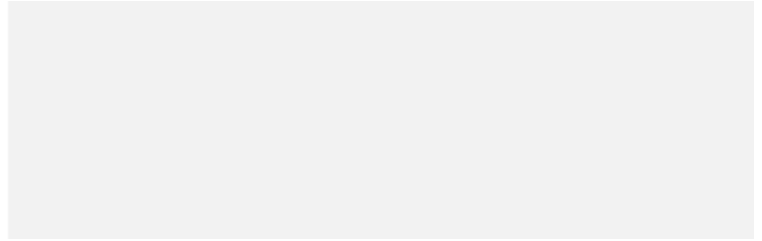
	MEETS STANDARDS	ACTION REQUIRED
<b>DOOR</b>	Meets Standards ✓ The door currently operates and does not appear to have any damage	
<b>FLOOR</b>	Meets Standards ✓ The flooring has been checked and it appears acceptably level when walked over & by eye	
<b>SKIRTING</b>	Meets Standards ✓ The Skirting has been checked and appears an undamaged continual surface	
<b>WALLS, CEILINGS &amp; ANY WARDROBES</b>	Meets Standards ✓ The walls and ceilings (plus any inbuilt wardrobes if present) have been checked and are acceptable.	
<b>WINDOWS</b>		<ul style="list-style-type: none"> <li>The window handle is tarnished</li> </ul> <p>Plastic Surgeon to repair or glazing company to replace as appropriate.</p>
<b>LIGHTS, SOCKETS &amp; SWITCHES</b>	Meets Standards ✓ The sockets, switches and lights appear level and in working order.	
<b>RADIATORS / UNDERFLOOR</b>	Meets Standards ✓ The radiators appeared to all be working, undamaged and level.	

# BEDROOM 4

PHOTO OF ROOM IF NOT OBVIOUS

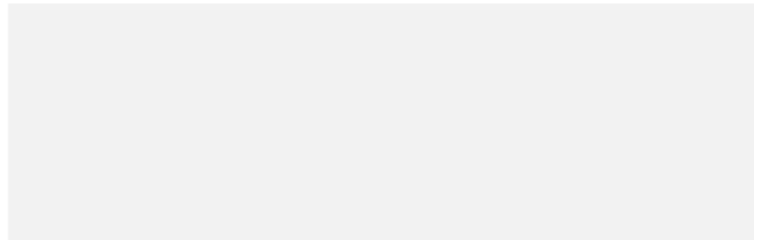


LIMITATIONS



ONGOING WORKS

URGENT ISSUES



PHOTOS OF ISSUES THAT DO NOT MEET STANDARDS



# BATHROOM

	MEETS STANDARDS	ACTION REQUIRED
<b>DOOR</b>	Meets Standards ✓ The door currently operates and does not appear to have any damage	
<b>FLOOR</b>	Meets Standards ✓ The flooring has been checked and it appears acceptably level when walked over & by eye	
<b>SKIRTING</b>	Meets Standards ✓ The Skirting has been checked and appears an undamaged continual surface	
<b>WALLS &amp; CEILINGS</b>		<ul style="list-style-type: none"> <li>There is a cracked / scratched tile</li> </ul> <p>Tiler to ensure tiles have a neat and tidy appearance, with undamaged tiles and even grout.</p>
<b>WINDOWS</b>		
<b>LIGHTS, SOCKETS &amp; EXTRACTION</b>		<ul style="list-style-type: none"> <li>The fitting is not flush</li> </ul> <p>Electrician to adjust / replace as required.</p>
<b>RADIATORS / UNDERFLOOR</b>	Meets Standards ✓ The radiators appeared to all be working, undamaged and level.	

# BATHROOM

	MEETS STANDARDS	ACTION REQUIRED
<b>SINK &amp; TAPS</b>		<ul style="list-style-type: none"> <li>The sink is not level</li> </ul> <p>Plumber to attend to rectify / replace if required</p>
<b>PEDESTAL &amp; VANITY</b>		<ul style="list-style-type: none"> <li>Unequal gaps or unlevel installation of the vanity</li> </ul> <p>Plumber to attend to rectify / replace if required</p>
<b>TOILET</b>	<p>Meets Standards ✓ The toilet has been checked and it functions, is damage free with soft close.</p>	
<b>SEALANT AROUND WET AREAS</b>	<p>Meets Standards ✓ Sealant around the wet areas was found to be full and neat.</p>	
<b>SHOWER / BATH</b>		
		<b>URGENT ISSUES</b>
		<p>Shower head reaches toilet, backflow risk</p>

# BATHROOM

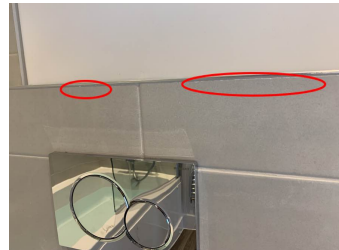
## ONGOING WORKS

## LIMITATIONS

### PHOTOS OF ISSUES THAT DO NOT MEET STANDARDS



Uneven gap



Tiles chipped below shelf



Clip cable to wall



Plaster dint examples



Light not flush



Shower head reaches toilet



Poor finish by right end of bath



Basin off level



# AIRING CUPBOARD

	MEETS STANDARDS	ACTION REQUIRED
<b>DOOR</b>		<ul style="list-style-type: none"> <li>The door frame is distorted</li> </ul> <p>Joiner to adjust / plastic surgeon to repair as required</p>
<b>FLOOR</b>	<p>Meets Standards ✓ The flooring has been checked and it appears acceptably level when walked over &amp; by eye</p>	
<b>SKIRTING</b>	<p>Meets Standards ✓ The Skirting has been checked and appears an undamaged continual surface</p>	
<b>WALLS &amp; CEILINGS</b>	<p>Meets Standards ✓ The walls and ceilings have been checked and are acceptably flat / plumb.</p>	
<b>LIGHTS, SOCKETS &amp; SWITCHES</b>	<p>Meets Standards ✓ The sockets, switches and lights appear level and in working order.</p>	

# AIRING CUPBOARD

PHOTO OF ROOM IF NOT OBVIOUS

LIMITATIONS

ONGOING WORKS

URGENT ISSUES

PHOTOS OF ISSUES THAT DO NOT MEET STANDARDS



>5mm door gap

# LOFT

	MEETS STANDARDS	ACTION REQUIRED
<b>HATCH</b>	Meets Standards ✓ The loft hatch was checked and was operating freely	
<b>INSULATION</b>	Meets Standards ✓ The insulation appeared to be cross laid and had ample coverage	
<b>SOIL / VENT CONNECTIONS</b>		<ul style="list-style-type: none"> <li>To ensure extract fans work effectively flexi ducting run should be a max of 1.5m</li> </ul> <p>Plumber to access and ensure soil pipes / extraction fans are properly installed</p>
<b>CABLES</b>	Meets Standards ✓ There were no obvious signs of loose cables	
<b>TIMBERS</b>	Meets Standards ✓ The timbers appear (at least to the immediate area around hatch) to be correctly installed.	
<b>FELT / RAFTER BOARDS</b>	Meets Standards ✓ The felt / rafter boarding appeared damage free	

Due to health and safety, a 'head and shoulders' check was carried out from the opening of latch hatch

# LOFT

## URGENT ISSUES

## LIMITATIONS

## PHOTOS OF ISSUES THAT DO NOT MEET STANDARDS

# HEATING

MEETS STANDARDS	ACTION REQUIRED
<p>Meets Standards ✓ The heating system was operating. Note: this is a basic, non-technical check only.</p>	
URGENT ISSUES	LIMITATIONS

# ALARMS ETC

<p><b>SMOKE ALARM</b></p>	<p><b>SECURITY ALARM</b></p>
<p>The smoke alarm test button was pressed and was interlinked</p>	<p>There is no security alarm</p>
<p><b>DOOR BELL</b></p>	<p><b>CO DETECTOR</b></p>
<p>There is a door bell and it is working</p>	<p>There is no CO detector</p>

**please note: these are non technical checks, we are just confirming presence**