



# NEW BUILD SNAGGING SURVEY



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**v3**  
EDITION

## PROPERTY DETAILS

25/01/24

Example Survey  
3 bedroom house

Please note: the videos presented in this survey have been disabled

## WEATHER CONDITIONS

The weather at the time of survey was overcast. We recommend checking the rainwater goods during rainfall. Also, any scratches to glass may be more obvious in sunlight

## SURVEYOR



Anthony holds a HND in Construction, a BSc (Hons) in Construction Engineering, a Diploma in Applied Building Thermography and is a qualified Domestic Energy Assessor. He is a member of the RPSA.

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# INTRODUCTION

## SCOPE OF INSPECTION

### What is Snagging?

Snagging is a subjective process and the scope of detail “professional snaggers” go into varies widely. Our purpose is not to raise every minor issue (i.e. paintwork etc), but rather to check that the fundamentals of your house have been correctly installed. Some of these fundamental checks are demonstrated in the introduction pages for your reassurance. We then provide just a summary of final finishes such as paintwork to allow the bulk of the report to concentrate on issues that are deemed more important.

### What is a Tolerance?

We may refer to a snag being “out of tolerance” which is something not meeting the permitted standards set by the NHBC who provide the warranty for most new build houses in the UK. We may also refer to their best practise / technical guidance to emphasise or help explain an issue. Alongside the NHBC tolerances we may make reference to Building Regulations and other relevant regulatory bodies in our survey if relevant. Whereby no guidance is associated to the snag being raised, we use our professional judgement that something is not ‘as it should be’ according to what we believe is good quality or ‘standard practice’ workmanship.

As well as common-sense, the governance over workmanship is summarised in the Building Regulations which states (below) that Building work should be carried out with adequate and proper materials and carried out in a ‘workmanlike manner’.

#### Regulation

##### Materials and workmanship

- 7.** (1) Building work shall be carried out—
- (a) with adequate and proper materials which—
    - (i) are appropriate for the circumstances in which they are used,
    - (ii) are adequately mixed or prepared, and
    - (iii) are applied, used or fixed so as adequately to perform the functions for which they are designed; and
  - (b) in a workmanlike manner.

# INTRODUCTION

## SCOPE OF INSPECTION

### Issues after the Survey:

As new-build houses undergo the settlement process over the first few years, issues will likely occur such as shrinkage cracks (inside and externally), nail pops, creaking floorboards and misalignment of doors. Such issues are common and if they occur after our visit they will need to be raised with the developer directly.

We also recommend inspecting your property in varying environmental conditions such as heavy rainfall or alternative lighting to check for issues that may otherwise not be evident on the day the report was carried out.

If in the unlikely situation there is a mistake or missed issue[s] on the report that prevent it being sent to the developer, please contact the surveyor within 3 working days of the report being received. Please note that we may not agree to add these in if we believe it is too minor / not relevant to be included.

### Disclaimer:

This is not a structural building survey and we are not to be held liable for any issues that may occur after our visit or are outside the scope of the inspection. Likewise, we do not perform technical tests to installations such as electrical, gas, heating system, PV, ventilation assessments etc.

We do not move furniture, floor coverings (etc) and our only intrusive inspection inside the property may be checking underneath the bath. This is carried out by removing the bath panel, but we will not do so if it is sealed in place or tiled in.

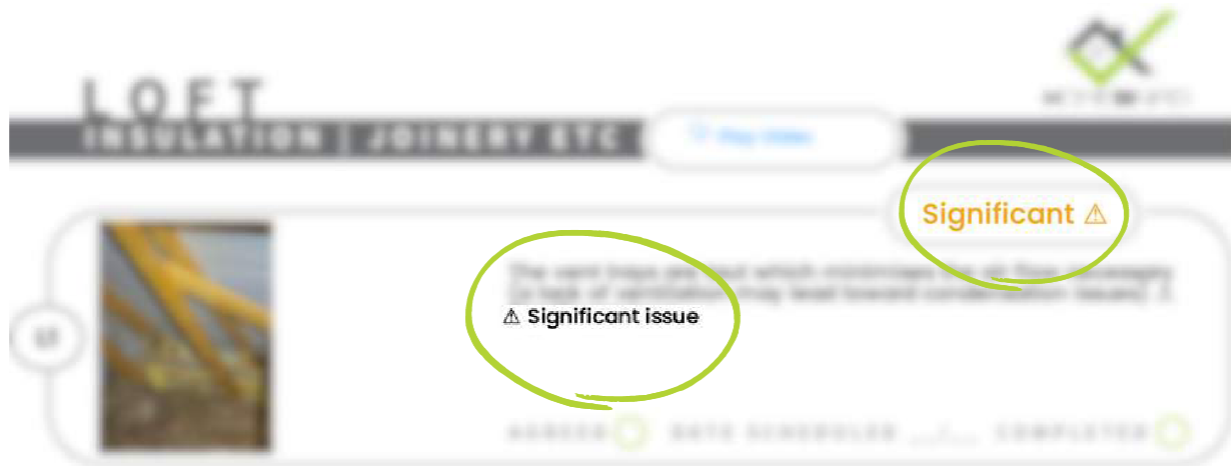
We are raising issues on behalf of the homeowner or client that is paying for our service but will remain impartial when raising issues that we feel are justified. In the aim of maintaining this integrity, we are therefore at liberty to decline adding snags that we are asked to include, but do not agree with.

We cannot guarantee that your builder will carry out all the issues raised in this report.



# INTRODUCTION

## SIGNIFICANT / URGENT ISSUES



### Significant ⚠

These are issues that we believe are important for a number of reasons including:

- The issue will likely be costly and/or disruptive to address
- The issue may have an adverse effect on how the property is meant to perform
- The issue is not particularly urgent, but is considered more important than the other snags raised

### Urgent Issues ⚠

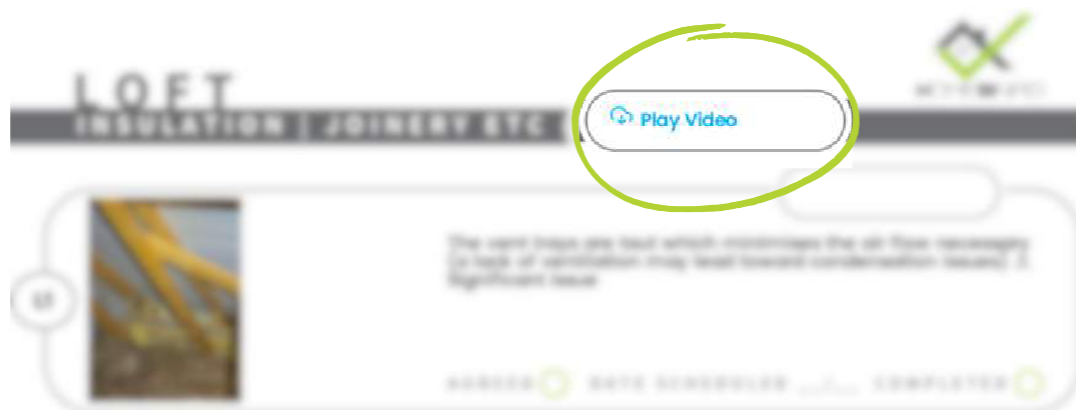
These are snags that are urgent either because they:

- Require a tradesman to address the issue without delay (e.g. a leak)
- Present an hazard to occupants (e.g. fall from height, fire safety issue)

## VIDEOS

Videos may be included in the survey to supplement an understanding of:

- a noise being encountered
- a complex issue
- interaction that will help to demonstrate the issue



# INTRODUCTION

## FOOTNOTES

At the bottom of each page there may be relevant tolerances / other regulation guidance (but this may be blank if there is nothing applicable).

**RELEVANT GUIDANCE:**

Garages 10.1

**Adequate resistance to rain and ground water**

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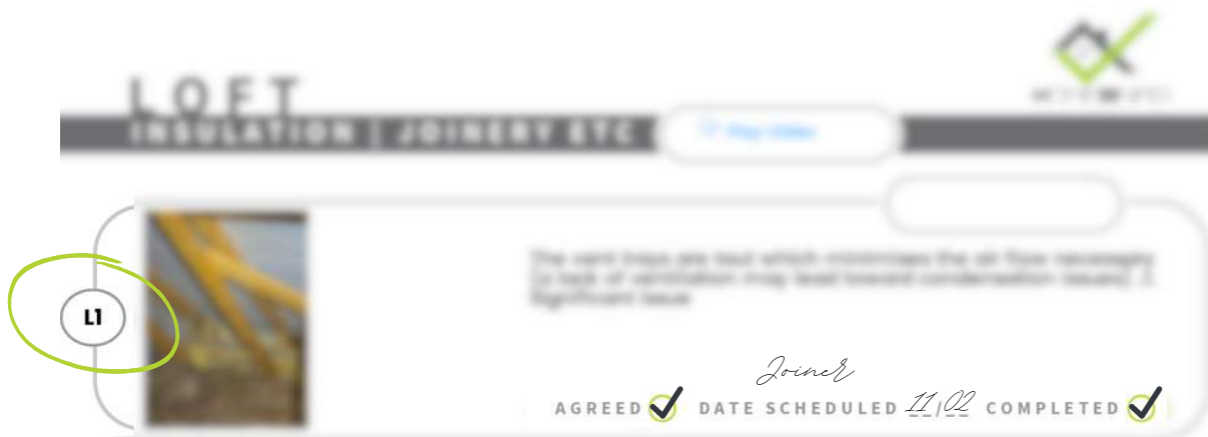
To protect the wall from rising ground moisture, a DPC should be provided at a level at least 150mm above the level of adjacent ground.

Garage walls constructed from a single leaf of masonry, such as brickwork or blockwork approximately 100mm thick, will not be impervious to wind-driven rain and consequently could become damp.

## NAVIGATING THE REPORT

This survey labels each row with a code to be able to discuss particular snags / enable the site manager to allocate specific jobs to tradesman. An example is shown below. We also include in each section the ability to update progress by:

- Ticking when the site agree to fix the snag
- Date trades are scheduled to attend
- Ticking when the work is complete



**LOFT INSULATION | JOINERY ETC**

**L1**

The work area is not which includes the all the necessary to work at inspection may need to be considered before any significant work

*Joined*

AGREED ☒ DATE SCHEDULED 11/02 COMPLETED ☒

# INTRODUCTION

## TERMINOLOGY

Throughout the report there may be some abbreviations or terminology. Some of the most common examples are explained below in alphabetical order:

**"Aco"** - a channel drain typically found in driveways

**"Architrave"** - is the decorative finish around doorframes

**"Banding"** - Typically in reference to brickwork or roof coverings, different batches will provide different appearance and so should be mixed to avoid obvious patches that clash

**"Brickslot"** - A type of channel drain typically found in front of doorways

**"CO"** - Carbon Monoxide

**"Efflorescence"** - A white appearance on brickwork. It occurs when moisture pulls the salt out of the building material. It is essential for bricks to be covered and left in pallets to minimize this being an eyesore across the whole of the building.

**"Fenestration"** - The installation of doors and windows

**"LHS"** - Left Hand Side

**"Make Good"** - The repair process which is likely done in several stages (for example sanding, filling and repainting)

**"Perp"** - A perp is the vertical layer of mortar between the bricks

**"Plastic Surgeon"** - A specialist trade also known as Magic Man. They are able to repair surfaces that are not gloss, metal or glass.

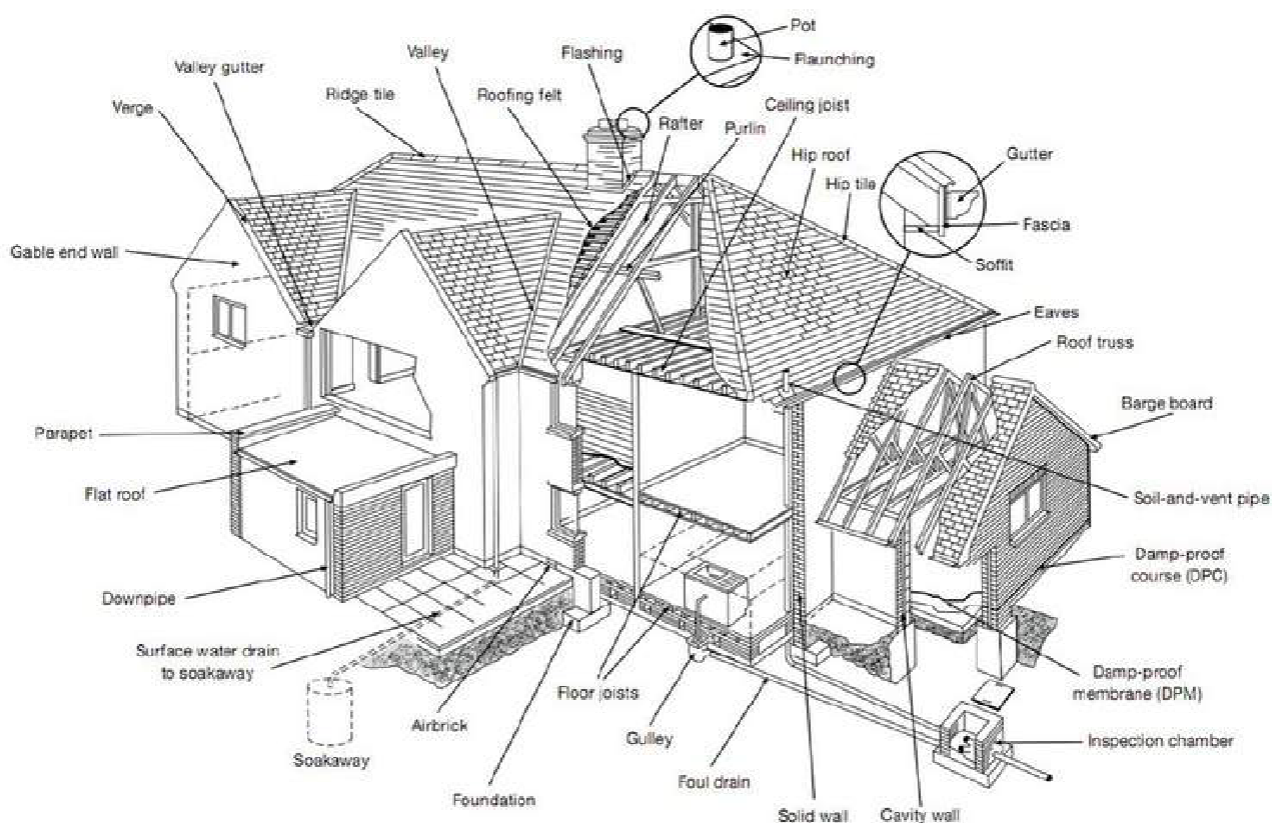
**"Plumb"** - whether something is a vertical upright. Being "out of plumb" means that it deviates from this.

**"RHS"** - Right Hand Side

**"RWDP"** - Rain Water Down Pipe

**"Stringer"** - (also called 'string' or 'stringer board') is the timber on either side of a flight of stairs, into which the treads and risers are fixed.

**"Snots"** - this typically refers to mortar or plaster/paintwork residue that needs removing.



# CHECKS

## ROOF

This is a collection of aerial photos taken of the roof. Any issues we identified will be shown in the survey findings.

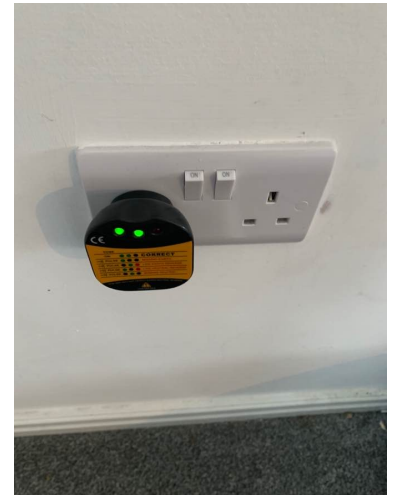




# CHECKS

SOIL | PLUMBING | HEATING | LOFT | DRAINS | SOCKETS

This is a collection of standard checks. Any issues we identified will be shown in the survey findings. Note: some checks may not have been possible to carry out (see limitations)





# EXT. SERVICES

## CAR CHARGER

There is no car charger installed. As part of Approved Document S of the Building Regulations 2022, there should be a car charger or the provision for one to be installed at later use. The developer is to provide confirmation of whether this building regulation applies (dependant on when the groundworks were laid).

## FLUE | VENTS | METERS

s1



Boiler pressure relief valve pipework should be vertical

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## RELEVANT GUIDANCE:

ONLINE VERSION

**S1**

### Requirement S1 and regulation 44D: Electric vehicle charging provisions for new residential buildings

This section deals with requirement S1 from Part S of Schedule 1 and regulation 44D of the Building Regulations 2010.

#### Requirement

##### The erection of new residential buildings

- S1.** (1) A new residential building with associated parking must have access to electric vehicle charge points as provided for in paragraph (2).
- (2) The number of associated parking spaces which have access to electric vehicle charge points must be—
- (a) the total number of associated parking spaces, where there are fewer associated parking spaces than there are dwellings contained in the residential building; or
  - (b) the number of associated parking spaces that is equal to the total number of dwellings contained in the residential building, where there are the same number of associated parking spaces as, or more associated parking spaces than, there are dwellings.
- (3) Cable routes for electric vehicle charge points must be installed in any associated parking spaces which do not, in accordance with paragraph (2), have an electric vehicle charge point where—
- (a) a new residential building has more than 10 associated parking spaces; and
  - (b) there are more associated parking spaces than there are dwellings contained in the residential building.

# ROOF

INC. DORMERS / BAYS ETC

r1



There is trim missing to the soffits/fascias

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RELEVANT GUIDANCE:

# ELEVATIONS

e1



The air brick is damaged and needs replacing

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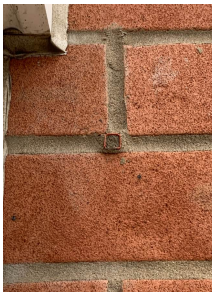
e2



Make good plot signage holes

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e3



The weep vents are blocked. The purpose of weep vents is to allow rainwater to exit via the cavity tray, so it is important they are clear from mortar etc **Significant** ☐

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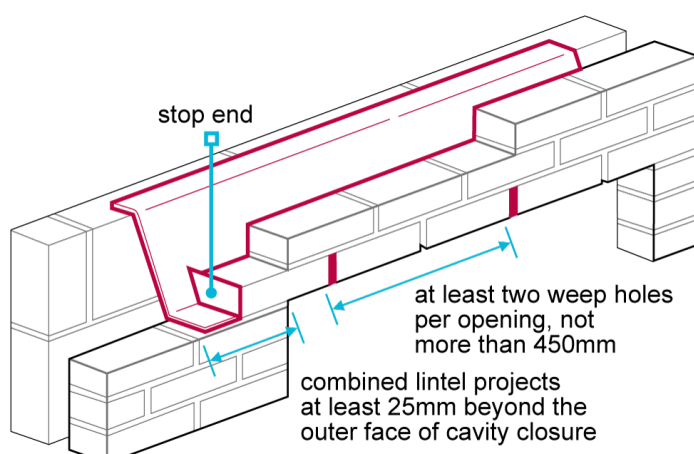
e4



The weep vents have inconsistent spacing: they should be in 450mm apart according to NHBC 6.1.17 **Significant** ☐

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## RELEVANT GUIDANCE:



# ELEVATIONS

e5



The gallows brackets are missing fixing covers to protect / improve appearance

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e6



The mortar is inconsistent in colour. Refer to NHBC 6.1.14

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## RELEVANT GUIDANCE:

External masonry walls

6.1

### Preparing mortar

When preparing mortar:

- ensure the mix is appropriate for the use and location
- plant and banker boards should be kept clean
- mixers should be kept clean to operate efficiently
- the colour should be consistent.

When laying bricks and blocks:

- mortar which has started to set should not be retempered
- they should have a solid mortar bedding and fully filled perpends, to reduce the risk of rain penetration and dampness in the wall.

# FENESTRATION

## EXT. WINDOWS & DOORS

f1



The door mastic seal is missing

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f2

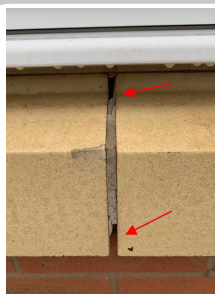


The mastic seal is excessively wide, suggesting incorrect measurement of door vs opening

Significant ⚠

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f3



The cast stone pointing is rough and needs repointing to a smooth consistent finish

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## RELEVANT GUIDANCE:

The following table shows the BS 8213-4 recommended gaps around window/door frames of different materials:

Material	Recommended gap per side in millimetres for structural openings		
	< 1.5m	1.5 to 3.0m	3.0m to 4.5m
PVC-U white	5	5	7.5
PVC-U non-white	7.5	7.5	11
Timber	5	5	5
Steel	4	5	6
Aluminium	5	5	7.5
GRP	2.5	5	7.5

Notwithstanding the above table NHBC accepts a maximum gap for application of a sealant not exceed 10mm for openings up to 3.0m wide and 15mm for wider openings. Gaps 5mm wide or more should have a backing strip to the sealant and the depth of sealant should be at least 5mm.

Where frames are tight to the opening, such as with a checked reveal or the joint width is less than 5mm, the sealant should form a fillet with an overlap of 6mm to non porous surfaces and 10mm to porous surfaces.



# GROUND S

BOUNDARIES | GARDEN ETC

Significant ⚠

g1



Developer to confirm classification of inspection chamber is correct rating as per BS EN 124 ⚠ Significant issue

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Urgent ⚠

g2



The chambers are heavily compacted and need unlocking and potentially CCTV to ensure clear / not an issue with drainage causing this beyond debris ⚠ Urgent issue

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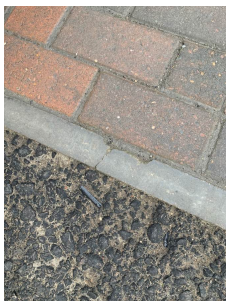
g3



Chamber cover lower than ground level

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g4



The edging stone is damaged

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## RELEVANT GUIDANCE:

Loading Group	Installation Area	BS EN 124 Class	BS EN 124 Test Load	(Superseded) BS 497 Equivalent
Group 1	For use in pedestrian areas where vehicles have no access	A15	15kN (1.5 tonnes)	Grade C
Group 2	For use in car parks & pedestrian areas where infrequent vehicle access is likely (incl. driveways)	B125	125kN (12.5 tonnes)	Grade B
Group 3	For access covers & gully gratings in areas of slow moving, heavy traffic; also for gully gratings in certain carriageway areas (see full definition above)	C250	250kN (25 tonnes)	Grade A
Group 4	For use in carriageways of roads, hard shoulders and parking areas	D400	400kN (40 tonnes)	Grade A
Group 5	For use in areas where high wheel loads are present	E600	600kN (60 tonnes)	-
Group 6	For use in areas where extremely high wheel loads are present	F900	900kN (90 tonnes)	-

Installation areas and BS 497 comparisons for guidance only.

# GROUND S

BOUNDARIES | GARDEN ETC

g5



The flagstone is chipped / cracked

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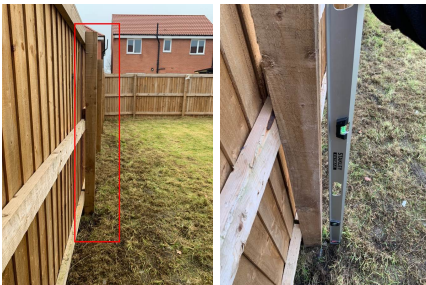
g6



The grass appears to have died, potentially either due to weather conditions, shelter or lack of suitable soil conditions

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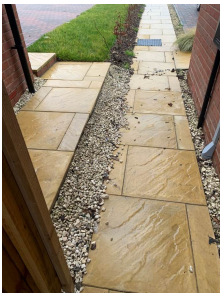
g7



Fence not plumb

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g8



Loose gravel

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RELEVANT GUIDANCE:

# GROUNDS

BOUNDARIES | GARDEN ETC

Significant ⚠

g9



The fence panels / post is unstable

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RELEVANT GUIDANCE:

# LOFT

## INSULATION | JOINERY ETC

[Play Video](#)

L1



There is a gap around the loft hatch to caulk for a neat appearance

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L2




Cavity wall insulation has blocked off vents in soffit - also cavity closer is missing

Significant 

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L3




The duct is not connected to the vent which is important to address quickly to avoid excess condensation in the loft (and other possible issues)  Significant issue

Significant 

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L4

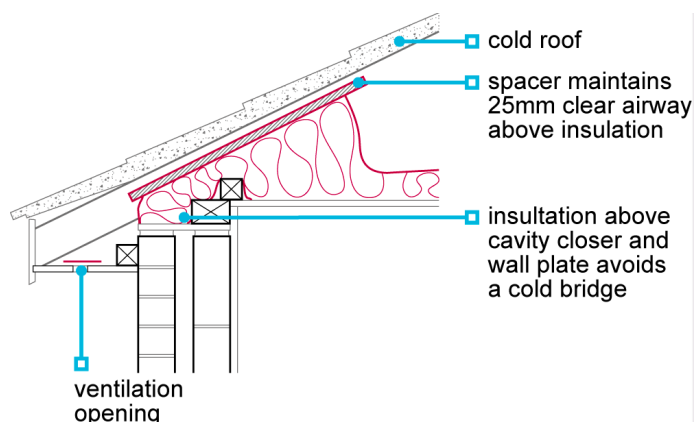


There are gaps in the insulation which need filling to prevent heat loss and condensation issues in the loft  Significant issue

Significant 

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### RELEVANT GUIDANCE:





# LOFT

## INSULATION | JOINERY ETC

L5



Significant ⚠

The vent trays are taut which minimises the air flow necessary (a lack of ventilation may lead toward condensation issues) ⚠ Significant issue, The insulation should abut the vent tray for maximum coverage/depth and minimize heat-loss. The vent trays are corrugated to allow for air flow so insulation should be packed up to it

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L6

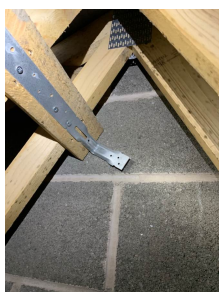


Significant ⚠

There is mould visible on the timbers which suggests a lack of adequate ventilation ⚠ Significant issue. There is condensation visible to membrane and/or timbers. This is typically due to a lack of ventilation and/or excess heat entering the loftspace not halted by adequate insulation (so any gaps in the insulation ⚠ Significant issue

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L7

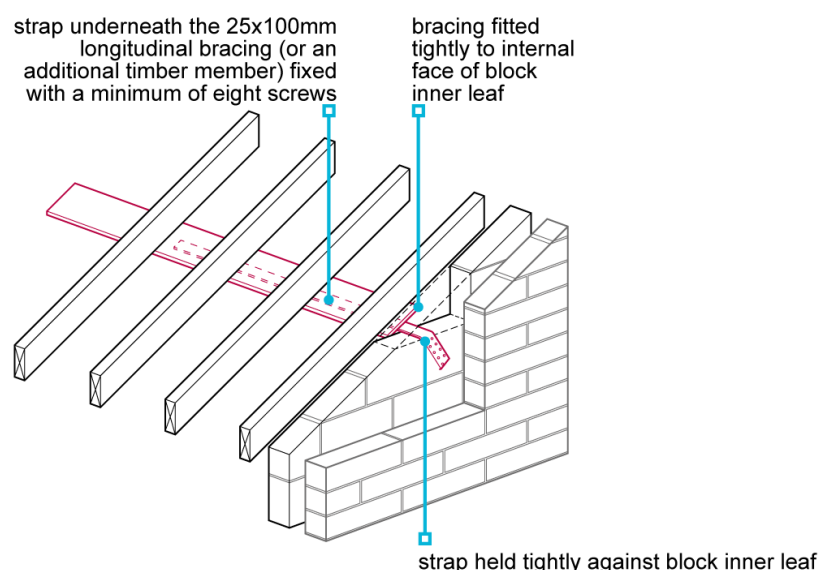
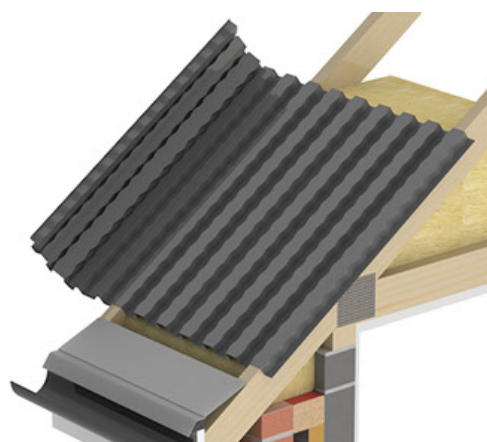


Significant ⚠

The restraint strap should be connected to the inner leaf of the blockwork ⚠ Significant issue

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### RELEVANT GUIDANCE:





# HEATING

BOILER | CYLINDER TANK

The heating appears to be working correctly. Note: any isolated issues e.g. certain radiators not heating up will be mentioned in the specific room.

# ELECTRICS

CONSUMER BOARD | ALARMS

The alarms and consumer board appear to have been installed correctly: the alarms are interlinked and the consumer board has installer / date information and labels.

Please note, these are non-technical - i.e. visual / basic operation only - checks.  
We are not qualified electricians or heating engineers

# W C

[Play Video](#)

wc1



The sink is not level which may be an installation or manufacturing defect

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wc2



Radiator is corroded

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wc3



Toilet fixing are corroded

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wc4



See video

**Significant** 

The extractor fan should overrun by 15 minutes due to there being no window, as per Building Regulations part F 

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## RELEVANT GUIDANCE:

The Building Regulations 2010

### Ventilation

APPROVED DOCUMENT

**F**

**Natural ventilation with background ventilators and intermittent extract fans (guidance suitable only for less airtight dwellings)**

#### Intermittent extract

**1.47** Intermittent extract fans should be fitted in all wet rooms. For kitchens, utility rooms, bathrooms and sanitary accommodation, the extract rates in Table 1.1 can be met using an intermittent extract fan.

**1.48** If a wet room has no external walls, the intermittent extract fan should extract at four air changes per hour to meet the purge ventilation standards in paragraphs 1.26 to 1.31.

**1.49** For sanitary accommodation, extract rates can be met using windows by following the purge ventilation guidance in paragraphs 1.26 to 1.31.

**1.50** Any automatic controls (e.g. humidity control) for intermittent extract should have a manual override to allow the occupant to turn the extract ventilation on or off.

**1.51** In a room with no openable window, an intermittent extract fan should be provided with controls which continue to operate the fan for at least 15 minutes after the room is vacated.

# KITCHEN

k1




Freezer cupboard door not affixed

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k2



In April 2017, the Water Regs UK changed the installation requirements of the Water Supply (Water Fittings) Regulations 1999. At the point where an appliance, such as a dishwasher or washing machine, is connected to the water supply, it will need an additional DCV installed **Significant** 

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k3



Cupboard door is loose

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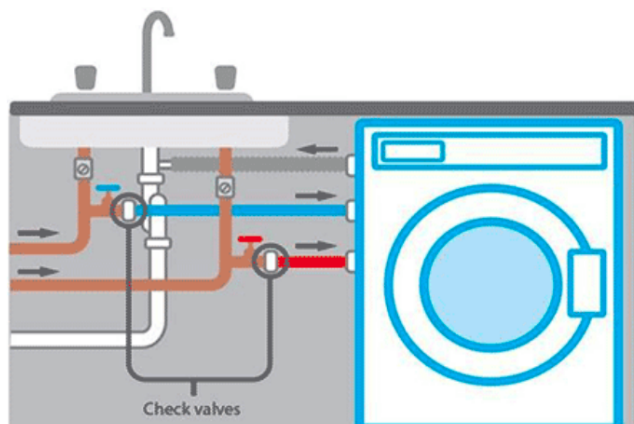
k4



The sealant around the window is poor and need redoing

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## RELEVANT GUIDANCE:



[Double check valve arrangement for appliances]

# DINING AREA

d1



Unsightly cut door - excessive cut can have adverse effects on door structure

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d2



Mould growth at patio door reveal - likely condensation

Significant ⚠

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d3



There is a gap to the patio doors that are likely causing a draught ⚠ Significant Issue

Significant ⚠

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RELEVANT GUIDANCE:

# LIVING AREA

L11



Door handle is loose

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RELEVANT GUIDANCE:



# STAIRS & LANDING

[Play Video](#)

**Significant** ⚠️

sta1



The landing floor creaks and a joiner is to investigate cause and rectify

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sta2



The carpet is gathered/uneven and needs adjusting to ensure there is even footing

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sta3

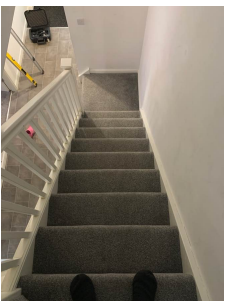


The radiator appears to need bleeding as the top of the radiator's output from the top is not as strong, suggesting an air pocket

AGREED ☐ DATE SCHEDULED \_\_/\_\_/\_\_ COMPLETED ☐

**Significant** ⚠️

sta4



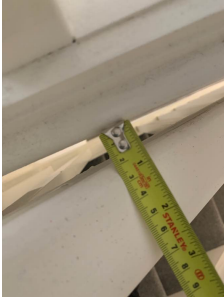
The steps are creaking and needs a joiner to access to rectify if the issue persists

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**RELEVANT GUIDANCE:**

# STAIRS & LANDING

sta5

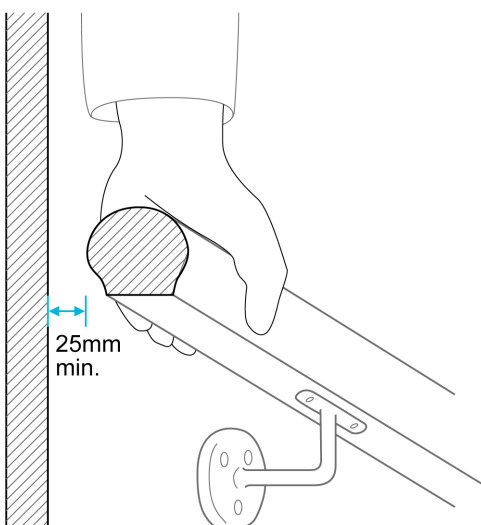


Significant ⚠

The handrail should have have a 25mm minimum clearance from any surface to ensure a safe uninterrupted grip ⚠  
Significant Issues

AGREED ☐ DATE SCHEDULED \_\_/\_\_/\_\_ COMPLETED ☐

## RELEVANT GUIDANCE:



Staircases

6.6

### 6.6.11 Handrails

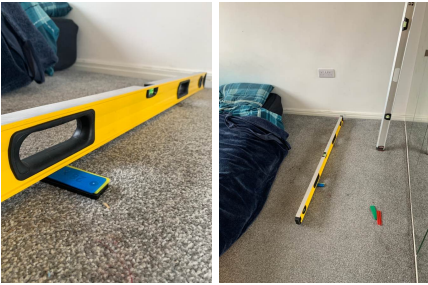
Handrails shall be correctly located and fixed to provide a firm handhold.

A handrail is required for flights of stairs that rise over 600mm. The handrail (throughout the full length) should:

- be securely fixed and located in accordance with the design
- be a vertical distance of 900mm–1000mm (or 840mm–1000mm in Scotland) above the pitch line
- have a 25mm minimum clearance from any surface
- ensure a firm handhold
- have rounded ends or be returned to the wall to reduce the risk of clothing being caught
- be continuous, smooth and unobstructed.

# BED 1

b1.1



12mm

A straight edge level was used and found the floor to be un-level and out of tolerance to NHBC 9.1.5 ⚠ Significant issue

Significant ⚠

AGREED ☐ DATE SCHEDULED \_\_/\_\_/\_\_ COMPLETED ☐

b1.2



Mould at window reveal - likely condensation

Significant ⚠

AGREED ☐ DATE SCHEDULED \_\_/\_\_/\_\_ COMPLETED ☐

## RELEVANT GUIDANCE:

A consistent approach to finishes

9.1

### 9.1.5 Floors

Floors shall be built to appropriate tolerances.

Floors should be:

- level within a 3mm deviation per 1m for floors up to 6m across (measured at the furthest points across the full width of the floor)
- flat within a  $\pm 5$ mm deviation, measured using a 2m straight edge with equal offsets.
- a maximum of 20mm out of level for floors over 6m across

# BED 2

Significant ⚠

be2.1



13mm

A straight edge level was used and found the floor to be un-level and out of tolerance to NHBC 9.1.5 ⚠ Significant issue

AGREED ☐ DATE SCHEDULED \_\_/\_\_/\_\_ COMPLETED ☐

be2.2



Mould at window reveal - likely condensation

AGREED ☐ DATE SCHEDULED \_\_/\_\_/\_\_ COMPLETED ☐

## RELEVANT GUIDANCE:

A consistent approach to finishes

9.1

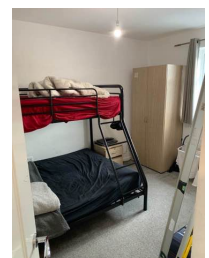
### 9.1.5 Floors

Floors shall be built to appropriate tolerances.

Floors should be:

- level within a 3mm deviation per 1m for floors up to 6m across (measured at the furthest points across the full width of the floor)
- a maximum of 20mm out of level for floors over 6m across
- flat within a ±5mm deviation, measured using a 2m straight edge with equal offsets.

PHOTO OF ROOM  
(TO HELP IDENTIFY):



# BED 3

Significant ⚠

be3.1



10mm

A straight edge level was used and found the floor to be un-level and out of tolerance to NHBC 9.1.5 ⚠ Significant issue

AGREED ☐ DATE SCHEDULED \_\_/\_\_/\_\_ COMPLETED ☐

## RELEVANT GUIDANCE:

A consistent approach to finishes

9.1

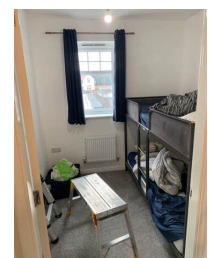
### 9.1.5 Floors

Floors shall be built to appropriate tolerances.

Floors should be:

- level within a 3mm deviation per 1m for floors up to 6m across (measured at the furthest points across the full width of the floor)
- flat within a  $\pm 5$ mm deviation, measured using a 2m straight edge with equal offsets.
- a maximum of 20mm out of level for floors over 6m across

PHOTO OF ROOM  
(TO HELP IDENTIFY):





# BATHROOM

ba1.1



Bath pipework runs not sealed – also gap below plasterboard not sealed

AGREED ☐ DATE SCHEDULED \_\_/\_\_/\_\_ COMPLETED ☐

ba1.2



Water damage and high moisture levels at skirting adjacent to bath

AGREED ☐ DATE SCHEDULED \_\_/\_\_/\_\_ COMPLETED ☐

**Significant** ⚠

ba1.3



The bath panel is bowing and needs taking off and refitting

AGREED ☐ DATE SCHEDULED \_\_/\_\_/\_\_ COMPLETED ☐

ba1.4



Door handle tarnished

AGREED ☐ DATE SCHEDULED \_\_/\_\_/\_\_ COMPLETED ☐

**RELEVANT GUIDANCE:**

# BATHROOM

ba1.5



The sealant is splitting. Mastic trade to attend and redo section[s]

AGREED ☐ DATE SCHEDULED \_\_/\_\_/\_\_ COMPLETED ☐

ba1.6



Radiator has corroded

AGREED ☐ DATE SCHEDULED \_\_/\_\_/\_\_ COMPLETED ☐

ba1.7



Excessive mould growth - see loft issues

**Significant** ⚠

AGREED ☐ DATE SCHEDULED \_\_/\_\_/\_\_ COMPLETED ☐

ba1.8



A tap with shower attachment has been fitted.  
We are unsure if this is on purpose or not, i.e. if hose removed

AGREED ☐ DATE SCHEDULED \_\_/\_\_/\_\_ COMPLETED ☐

**RELEVANT GUIDANCE:**

# BATHROOM

ba1.9



There is missing sealant. Mastic trade to fill with moisture resistant sealant

AGREED ☐ DATE SCHEDULED \_\_/\_\_/\_\_ COMPLETED ☐

ba1.10



The radiator appears to need bleeding as the top of the radiator's output from the top is not as strong, suggesting an air pocket

AGREED ☐ DATE SCHEDULED \_\_/\_\_/\_\_ COMPLETED ☐

RELEVANT GUIDANCE: